



2x 5000L UG raintank as per BASIX commitments
Northerly aspect for clothes drying with hardstand pavement
450 x 450 surcharge pit connected to interallotment drainage system

SITE CALCULATIONS

Itemised Floor Area	Area
All Living Areas	133 m2
Garage	40 m2
Alfresco/Porch	30.0 m2
Total GFA	203 m2
Site Area	350 m2
Proposed Dwelling Site Coverage	58%

- (E) ELECTRICITY PIT
- (P5) P5 TELSTRA PIT
- (M) SEWER MANHOLE
- (+) LIGHTPOST
- (V) VEGETATION
- (M) MAILBOX

WASTE MANAGEMENT PLAN

Waste generated from site during construction will be maintained via the following measures

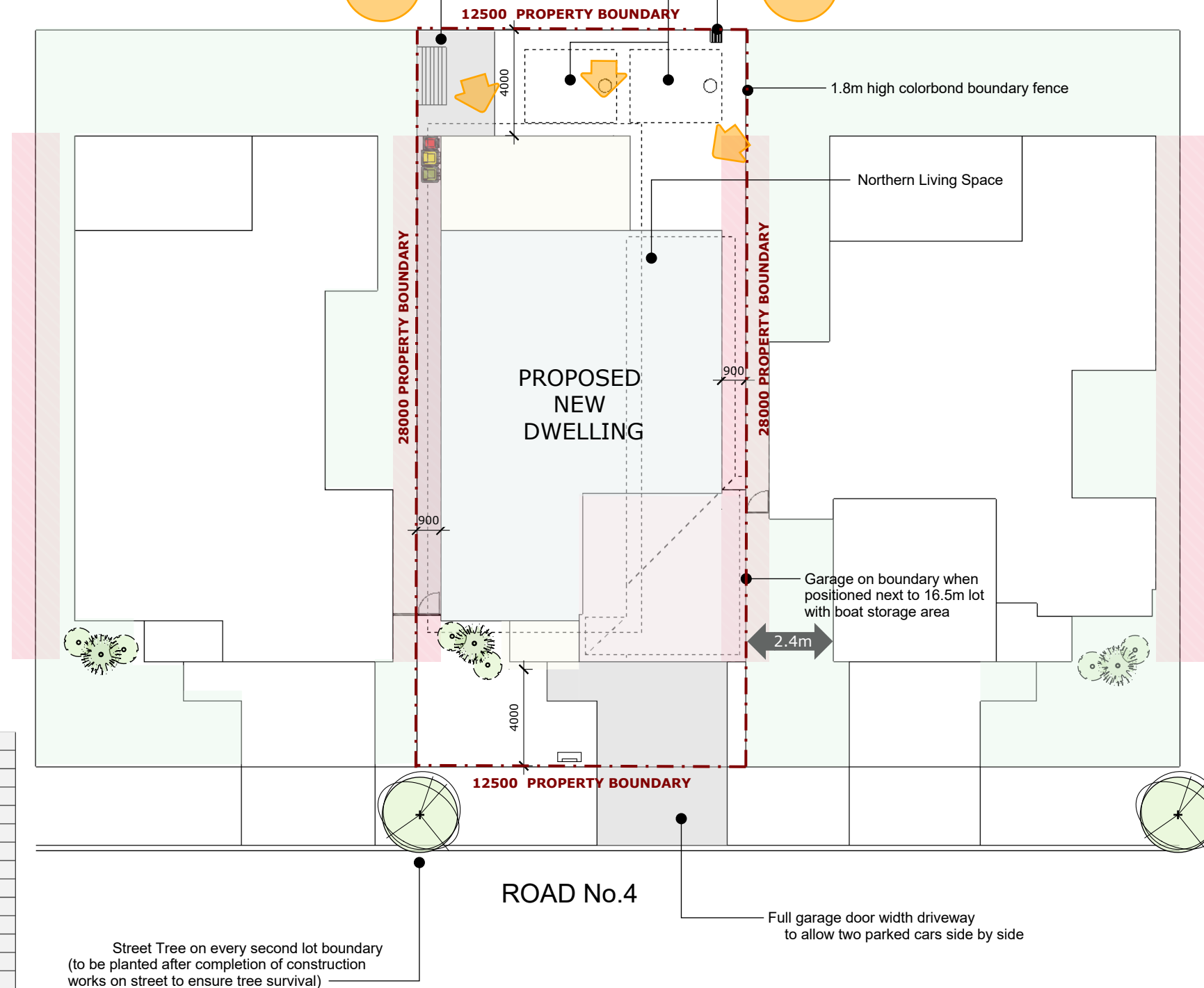
- (i) on site storage at designated area as shown on site plan the area will be boarded up to avoid wind blown materials
- (ii) Skip bins and wheelie bins located in close proximity to the construction area, with bins dumped at bucket's way landfill waste management centre

➔ Solar access

Hardstand pavement

Street Trees

1.8m min. separation zone between dwellings (except zero lot's to provide 2.4m min. separation to frontage)



HOME TYPE	South Facing			North	West	
	12.5	14.5	16.5	17.6	14.5	16.5
Amity Mk1		*	*			
Eclipse Mk1		*	*			
Mary Ann Mk3		*	*			
Oceana Mk3			*			
Oceana Mk4			*			
Providence Mk4		*	*			
Providence Mk5			*			
Susannah Mk1	*	*	*			
Susannah Mk2	*	*	*			
Amy Mk1				*		
Laura Mk2				*		
Lydia Mk3				*		
Lydia Mk4				*		
Atlanta Mk4						*
Atlanta Mk5						*
Eliza Davis Mk1					*	*



PROJECT NO.
Susannah Mk2 (12.5m)

PROJECT NAME
Harrington Waters, Lifestyle Village
PROJECT ADDRESS
Manor Road, Harrington

NO.	DATE	DESCRIPTION
1	04/09/2018	DA Drawings
2	29/07/2019	BASIX Commitments added

DOCUMENT DATE
August 5, 2019
Scale: 1 : 200
PAPER SIZE: A3

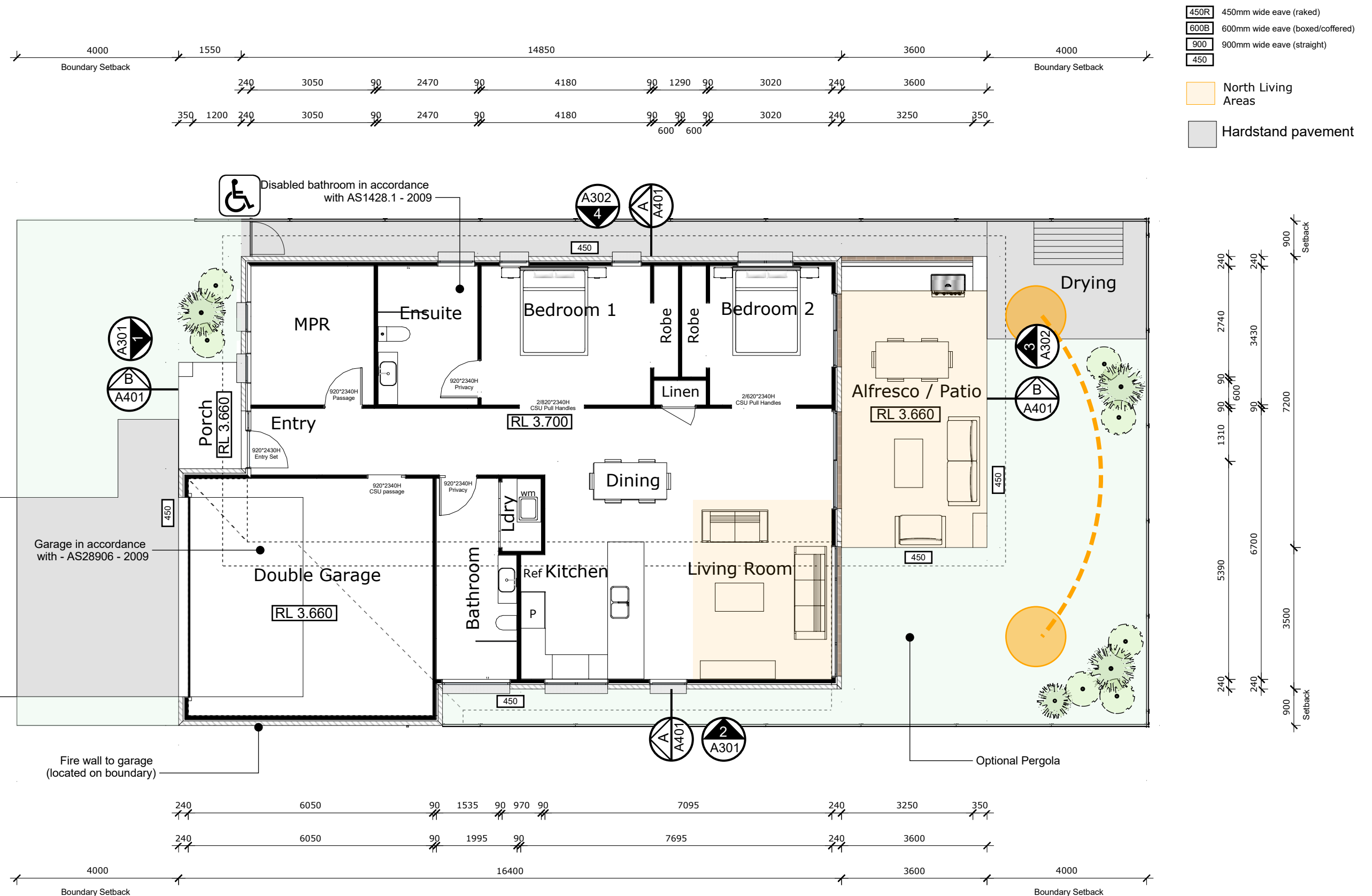
DRAWING TITLE
Site Plan

All dimensions are in millimetres unless noted otherwise. This drawing is to be read in conjunction with the Specification, BASIX Certificate and Engineer's details, if applicable. All dimensions are subject to confirmation on site by the builder/subcontractor. Figured dimension is to be taken a preference to scaling

DOCUMENT PHASE
Construction Documents

A101

COPYRIGHT
THESE PLANS, DESIGNS AND INTELLECTUAL CONTENT ALWAYS SHALL REMAIN THE PROPERTY OF BAYLINE DEVELOPMENTS (NSW) PTY LTD AND MUST NOT BE GIVEN, LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE PERMISSION IN WRITING FROM THE DIRECTOR



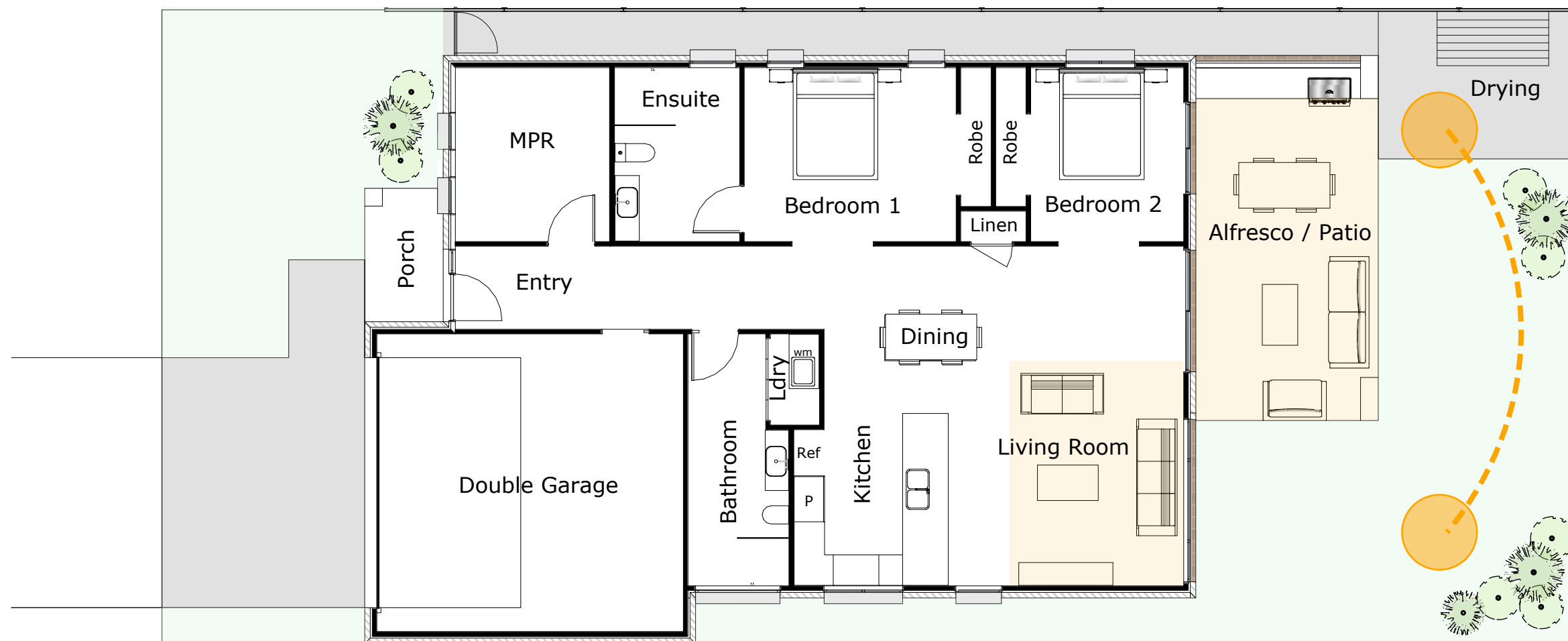


- 450R

450mm wide eave (raked)
- 600B

600mm wide eave (boxed/coffered)
- 900

900mm wide eave (straight)
- 450
- North Living Areas
- Hardstand pavement



PROJECT NO.
**Susannah
Mk2
(12.5m)**

PROJECT NAME
**Harrington Waters,
Lifestyle Village**
PROJECT ADDRESS
Manor Road, Harrington

NO.	DATE	DESCRIPTION
1	04/09/2018	DA Drawings
2	29/07/2019	BASIX Commitments added

DOCUMENT DATE
August 5, 2019
SCALE: 1 : 100
PAPER SIZE: A3

DRAWING TITLE
Floor Plan Display

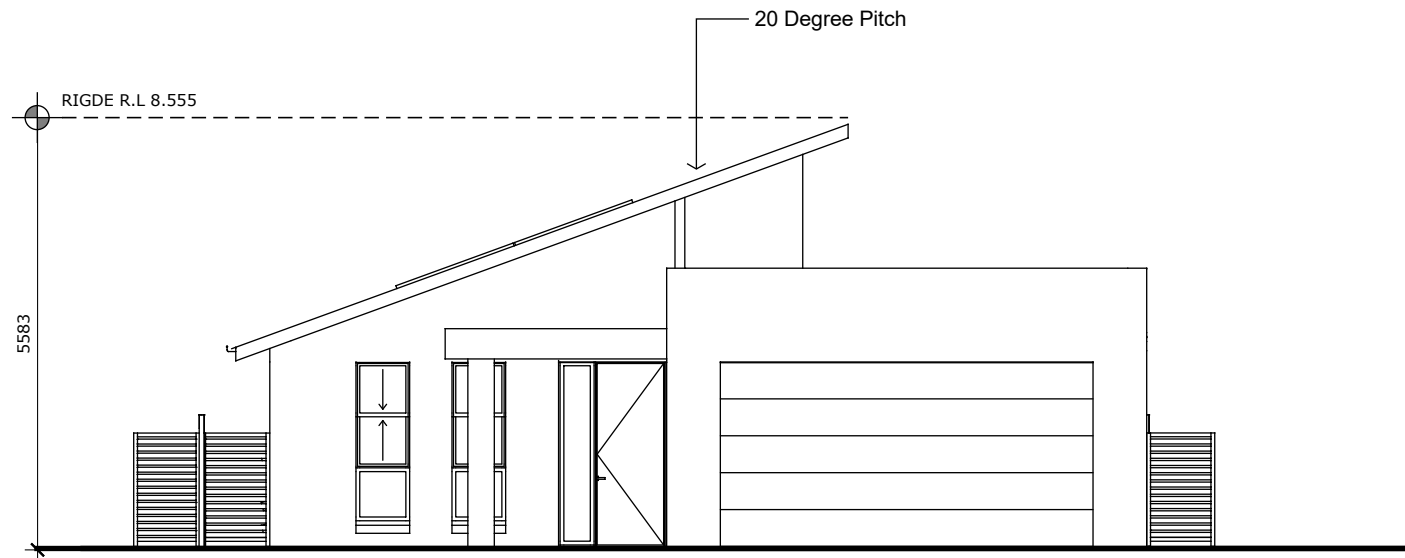
All dimensions are in millimetres unless noted otherwise. This drawing is to be read in conjunction with the Specification, BASIX Certificate and Engineer's details, if applicable. All dimensions are subject to confirmation on site by the builder/subcontractor. Figured dimension is to be taken a preference to scaling

DOCUMENT PHASE
Construction Documents

A201

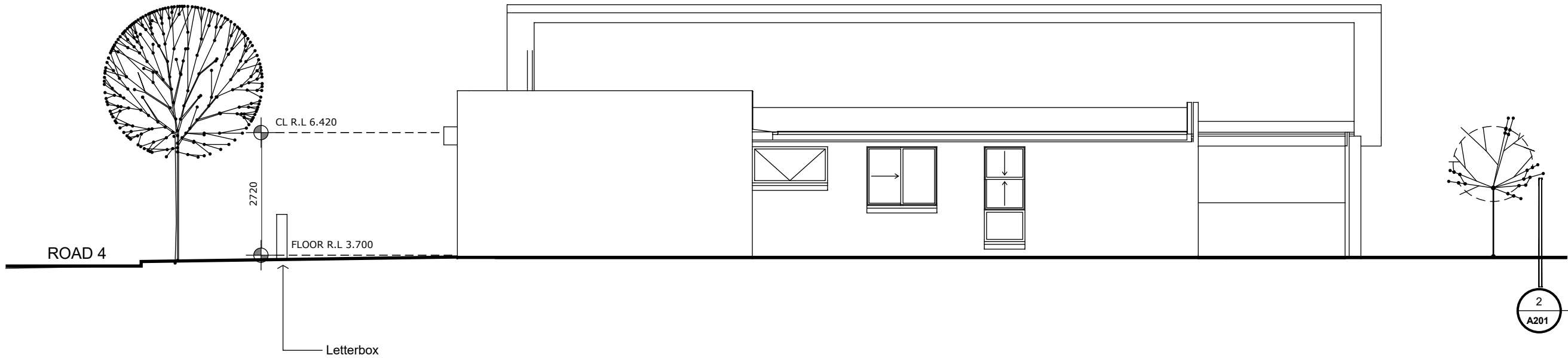
COPYRIGHT
THESE PLANS, DESIGNS AND INTELLECTUAL CONTENT ALWAYS SHALL REMAIN THE PROPERTY OF BAYLINE DEVELOPMENTS (NSW) PTY LTD AND MUST NOT BE GIVEN, LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE PERMISSION IN WRITING FROM THE DIRECTOR

SUMMARY OF BASIX COMMITMENTS				
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au				
WATER COMMITMENTS				
Fixtures				
3 Star Shower Heads	Yes			
3 Star Kitchen / Basin Taps	Yes	3 Star Toilet	Yes	
Alternative Water				
Minimum Tank Size (L)	10000	Collected from Roof Area (m2)	238-ALL	
Tank Connected To:				
All Toilets	Yes	Laundry W/M Cold Tap	Yes	
One Outdoor Tap	Yes			
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water	Gas Instantaneous 6 Star			
Cooling System	Living	1 Phase A/C Zoned = Ceiling Fan	EER 3.0 - 3.5	
	Bedrooms	1 Phase A/C Zoned = Ceiling Fan	EER 3.0 - 3.5	
Heating System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5	
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5	
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off	
	Kitchen	Fan ducted to exterior	Manual on/off	
	Laundry	Natural ventilation	N/A	
Natural Lighting	Window/Skylight in Kitchen	Yes		
	Window/Skylight in Bathrooms/Toilets	Yes to	2	
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	2	Dedicated	Yes
	Number of Living/Dining rooms	2	Dedicated	Yes
	Kitchen	1	Dedicated	Yes
	All Bathrms/Toilets	Yes	Dedicated	No
	Laundry	Yes	Dedicated	Yes
	All Hallways	Yes	Dedicated	Yes
OTHER COMMITMENTS				
Outdoor clothes line	Yes	Ventilated refrigerator space	No	
Stove/Oven	Gas Cooktop & Electric Oven			
Pool	N/A			
Alternative Energy	Photovoltaic System:			



VIEW FROM STREET

1 South Elevation
A201 Scale: 1 : 100



2 East Elevation
A201 Scale: 1 : 100



PROJECT NO.
**Susannah
Mk2
(12.5m)**

PROJECT NAME
**Harrington Waters,
Lifestyle Village**
PROJECT ADDRESS
Manor Road, Harrington

NO.	DATE	DESCRIPTION
1	04/09/2018	DA Drawings
2	29/07/2019	BASIX Commitments added

DOCUMENT DATE
August 5, 2019
SCALE: 1 : 100
PAPER SIZE: A3

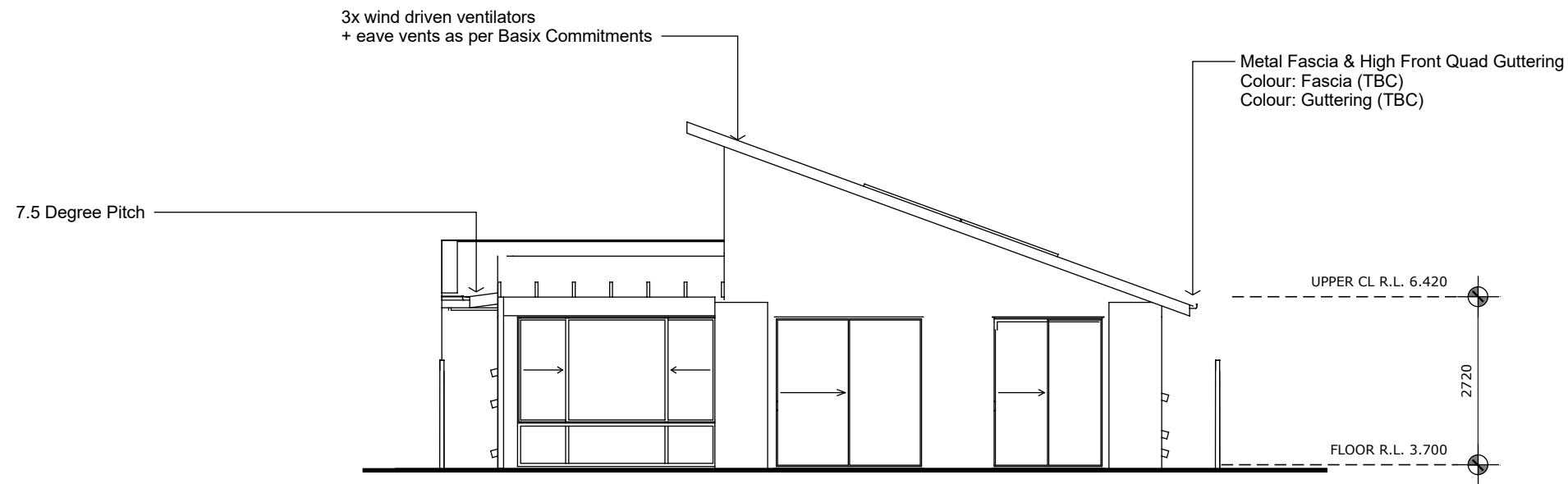
DRAWING TITLE
Elevations

All dimensions are in millimetres unless noted otherwise. This drawing is to be read in conjunction with the Specification, BASIX Certificate and Engineer's details, if applicable. All dimensions are subject to confirmation on site by the builder/subcontractor. Figured dimension is to be taken a preference to scaling

DOCUMENT PHASE
Construction Documents

A301

COPYRIGHT
THESE PLANS, DESIGNS AND INTELLECTUAL CONTENT ALWAYS SHALL REMAIN THE PROPERTY OF BAYLINE DEVELOPMENTS (NSW) PTY LTD AND MUST NOT BE GIVEN, LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE PERMISSION IN WRITING FROM THE DIRECTOR



3 North Elevation
Scale: 1 : 100



4 West Elevation
Scale: 1 : 100

NO.	DATE	DESCRIPTION
1	04/09/2018	DA Drawings
2	29/07/2019	BASIX Commitments added

Thermal Performance Specifications (does not apply to garage)				
External Wall Construction		Added Insulation		
Brick Veneer & Lightweight Cladding		R2.0		
Internal Wall Construction		Added Insulation		
Plasterboard on studs		Nil		
Ceiling Construction		Added Insulation		
Plasterboard		R2.5 to ceilings adjacent to roof space		
Roof Construction		Colour	Added Insulation	
Metal		Medium (Solar absorptance 0.475-0.70)	Foil + R1.0 blanket	
Floor Construction		Covering	Added Insulation	
Concrete (waffle pod)		As drawn	None	
Windows	Glass and frame type	U Value	SHGC Range	Area sq m
ALM-001-01 A	Aluminium Type A Single clear	6.70	0.70	As drawn
ALM-002-01 A	Aluminium Type B Single clear	6.70	0.70	As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors				
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres				

GENERAL NOTES:

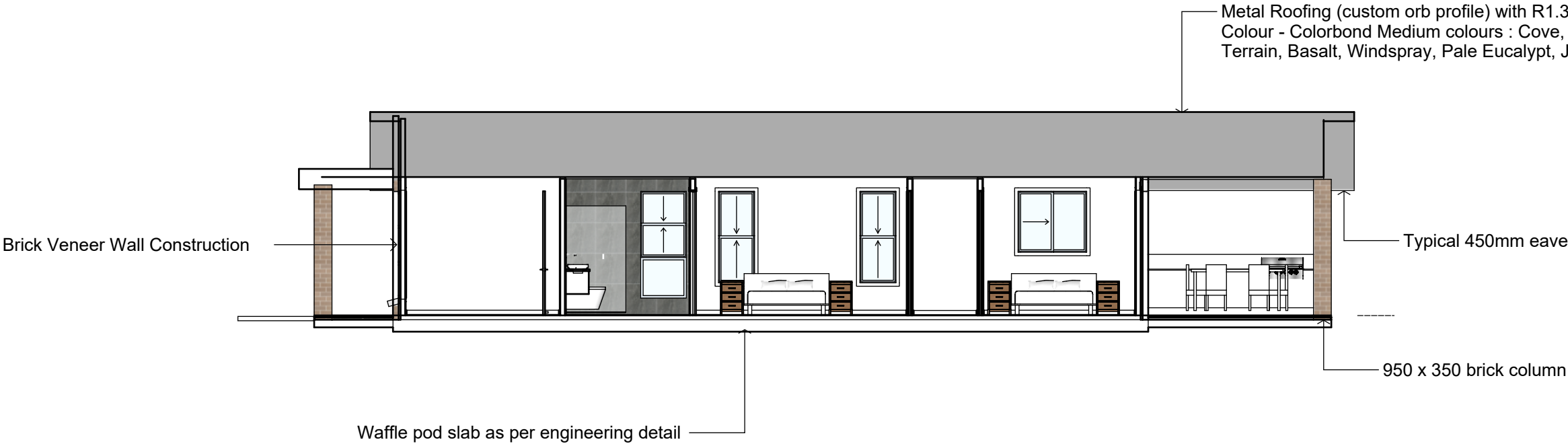
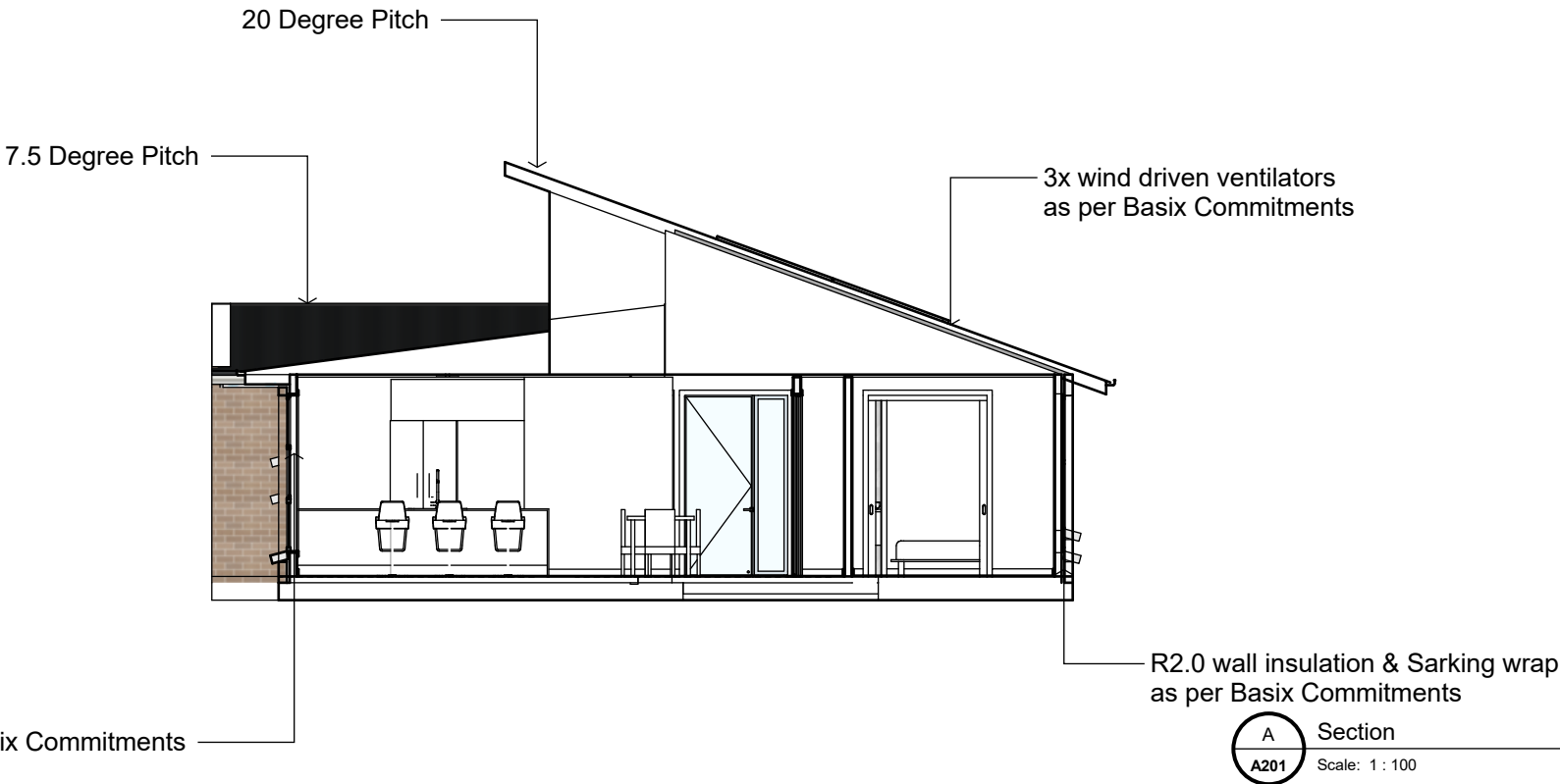
To ensure minimum standard of structural stability is met: all timber sizes, spaces and spans used in construction of the building shall comply with requirements of Australian standard AS1684 - 2010 "Timber Frame Code".

To ensure the building is protected from attack by termites, termite shields or other suitable physical barriers complying with AS 3660 are to be provided.

To provide adequate disposal of stormwater, roof water shall be conveyed by approved drains and connected to the existing stormwater system.

An automatic fire detection and alarm system is to be installed in the dwelling in accordance with the requirements of E3.7.2 of the Building Code of Australia.

All "wet area" floors, including concrete, shall be sealed to walls with approved material so as to effectively prevents moisture entering the structure. Particular attention is to be paid to the flashing of the shower recess. All dimensions to be confirmed on site by the builder.



PROJECT NO.
**Susannah
Mk2
(12.5m)**

PROJECT NAME
**Harrington Waters,
Lifestyle Village**
PROJECT ADDRESS
Manor Road, Harrington

NO.	DATE	DESCRIPTION
1	04/09/2018	DA Drawings
2	29/07/2019	BASIX Commitments added

DOCUMENT DATE
August 5, 2019

PAPER SIZE: A3

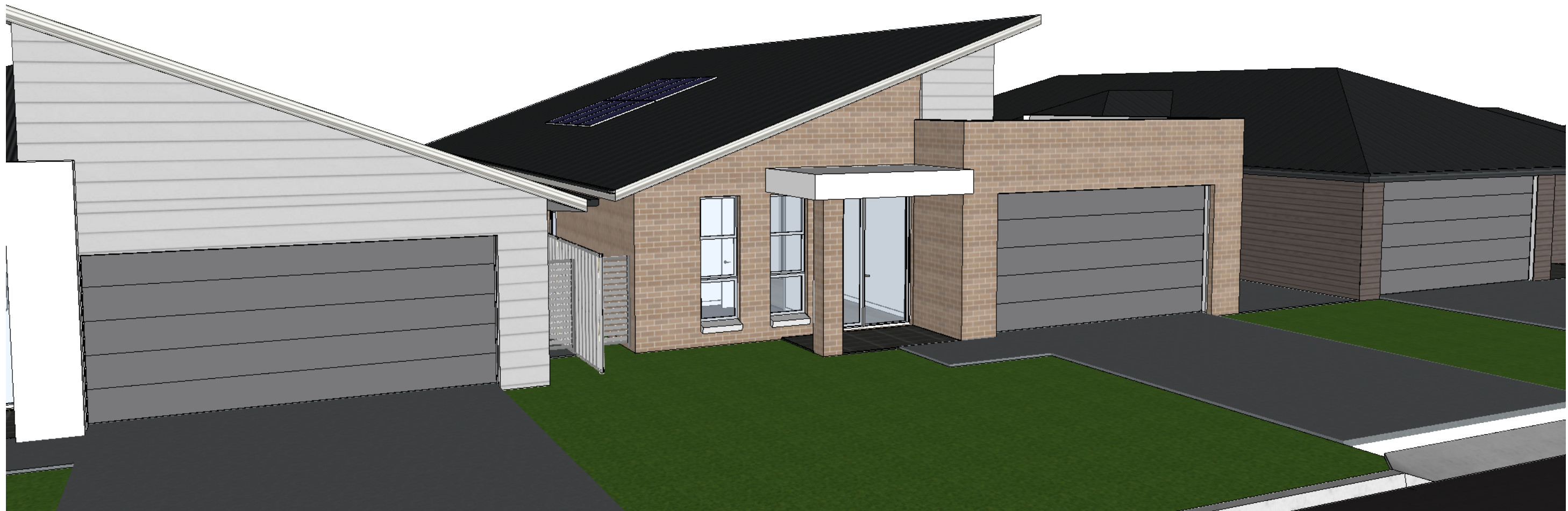
DRAWING TITLE
Sections

All dimensions are in millimetres unless noted otherwise. This drawing is to be read in conjunction with the Specification, BASIX Certificate and Engineer's details, if applicable. All dimensions are subject to confirmation on site by the builder/subcontractor. Figured dimension is to be taken a preference to scaling

DOCUMENT PHASE
Construction Documents

A401

COPYRIGHT
THESE PLANS, DESIGNS AND INTELLECTUAL CONTENT ALWAYS SHALL REMAIN THE PROPERTY OF BAYLINE DEVELOPMENTS (NSW) PTY LTD AND MUST NOT BE GIVEN, LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE PERMISSION IN WRITING FROM THE DIRECTOR



PROJECT NO.
**Susannah
Mk2
(12.5m)**

PROJECT NAME
**Harrington Waters,
Lifestyle Village**
PROJECT ADDRESS
Manor Road, Harrington

NO.	DATE	DESCRIPTION
1	04/09/2018	DA Drawings
2	29/07/2019	BASIX Commitments added

DOCUMENT DATE
August 5, 2019

SCALE: 1 : 100

PAPER SIZE: A3

DRAWING TITLE
Street Perspectives

All dimensions are in millimetres unless noted otherwise. This drawing is to be read in conjunction with the Specification, BASIX Certificate and Engineer's details, if applicable. All dimensions are subject to confirmation on site by the builder/subcontractor. Figured dimension is to be taken a preference to scaling

DOCUMENT PHASE
Construction Documents

A501

COPYRIGHT
THESE PLANS, DESIGNS AND INTELLECTUAL CONTENT ALWAYS SHALL
REMAIN THE PROPERTY OF BAYLINE DEVELOPMENTS (NSW) PTY LTD AND MUST
NOT BE GIVEN, LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED
WITHOUT THE PERMISSION IN WRITING FROM THE DIRECTOR